

# Brookline Preservation Commission

## Local Historic District Report

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**Local Historic District:** Chestnut Hill North

**Applicant:** Steve and Christine Luby

**Address:** 40 Norfolk Road



**House Built:** 1898

**Garage Built:** 1905-1906

**Architect House:** Chapman, Fraser, and Bliss

**Architect Garage:** Unknown

**Builder House:** William Pettigrew

**Builder Garage:** Unknown

**Statement of Significance:** The Colonial Revival Style home was designed by Chapman, Fraser, and Bliss in 1898 and constructed by William Pettigrew. Stylistically, it is unlike the other houses on the street, most of which are variations of the Queen Anne and Shingle Styles. However, in size, scale and age, it is in keeping with its neighbors. Note the symmetrical facade, pedimented dormers, Palladian and leaded glass wheel windows as well as the handsome entrance with doric porch columns and fanlight.

The house was built on land which had belonged to the Miller family which built #30 Norfolk Road next door as well as 15 and 33 Circuit Road, and 55 Devon Road. Its first owner was Anna Foster who appears to have lived here with Lucy Brigham, and Lucy and Dorothy Chandler Foster, an insurance agent who died in 1881.

The carriage stable/garage at 40 Norfolk Road was built in 1905-1906 for Anna Foster with access by private driveway from Circuit Road. The Foster barn follows the form of an estate stable with three bays and a center loft dormer. The plain Colonial Revival Style is marked by a side gambrel roof and gambrel loft dormer. Side sash windows suggest the Foster barn might have been designed originally as a three bay auto garage in the form of an estate stable, although no listings of automobiles or horses are given in the Brookline directories. The Foster barn is likely among the last estate stables built in Chestnut Hill after 1905 and remains a question of original design and architect without building permit.

**Proposed Alterations:** The applicant proposes to remove a 1970s addition to the southeast corner and construct a 24' 6" x 23' 6" two story addition with dormers on the southeast elevation. The two story addition will step down to a 18' 6" x 19' lower roof addition, on the east elevation, that will connect to the existing garage. The garage is currently located 4' from the south property line. The applicant proposes to relocate the garage approximately 6' north, for a total of 10' from the property line. The Building Commissioner is reading the south property line as both a side and rear in different sections, which will require zoning relief for part of the garage.

Construct a 6' 6" x 25' 6" one story addition, with a 4' square bay extension and second floor balcony, on the northeast corner of the house. All new additions will have asphalt shingles to match the existing. The applicant states that all new work will match the existing in detail, character, style, and materials. All new fenestration for the additions will be thermal pane, true divided lite doors and windows.

Proposed for the north (side) elevation of the house is to replace the existing French doors by raising the header height to match the height of the existing windows on the first floor. The existing first floor window at the northeast corner of the existing house will be replaced with French doors. The new doors will be single glazed, true divided lite.

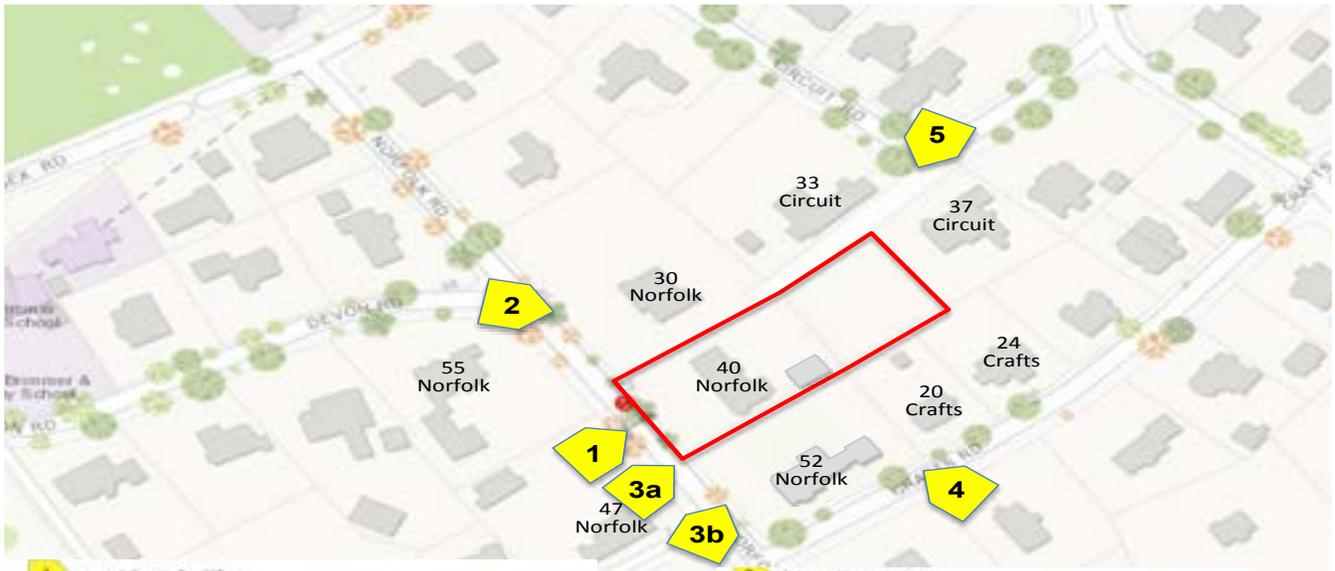
Proposed for the south elevation is to replace the 1970s bay window with a 8/8 divided lite window to match the others on the elevation. Also proposed is to replace 12 light fixed single pane window at the southwest corner bay. The applicant proposes lowering the sill to double the size. The applicant would also like to replicate a wood balustrades above the bay, which they believe were once there.

Proposed for the west elevation is to replace the second floor wood balustrade with new wood balustrades to match the line of the columns below. The new balustrades will be wood but will not match the existing (which appears to not be original) but rather have a slightly more decorative element.

Besides the relocation of the garage, the applicant proposes a new concrete foundation with stone veneer. The floor slab will be lowered approximately 1' 6", however the garage structure is to remain at the same level. Enlarge the garage door openings to 9' wide, 8' high. The original garage doors were replaced in 1938. The applicant proposes replacing the doors with carriage style doors (overhead operation) which would be more in keeping with the original design. Replace the plate glass window in the existing garage dormer with "hayloft" style doors. Construct a new dormer on the south elevation of the garage and install two 6/6 double hung windows. Replace existing double hung windows on the east and south elevation of the garage to match existing. Create a new pedestrian door opening on the west elevation. The the small horse windows on the south elevation will remain. All new windows on the garage will be single pane, true divided lite.

**Staff Notes:** The applicant had presented revisions to the subcommittee at three public meetings. The subcommittee had decided it was appropriate to bring the latest revisions back to the full Commission for review. Discussions and revisions at the subcommittee included the differentiation of the new additions from the original house and stable/garage by the use of modern materials, simplified design, and reduced massing.

**Applicable Guidelines:** "Historic carriage barns and automobile garages should be preserved...The historic character of a property should be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property should be avoided...New additions, exterior alterations or related new construction that destroys historic materials, features and spatial relationships that characterize the property should be avoided. New work should be differentiated from the old and should be compatible with the historic materials, features, size, scale, proportion and massing to protect the integrity of the property and its environment...There should be no new openings on principal facades, except to restore original or pre-existing openings...In areas where historic garages are generally detached, new garages should be detached...Alterations and additions should be compatible with the character of the building and earlier additions in terms of size, scale, massing, material, location and detail."



1 Norfolk Road - Front View



3a Between 40 and 52 Norfolk



2 Between 33 and 40 Norfolk



3b Between 40 and 52 Norfolk



4 Between 52 Norfolk and 20 Craft Road



5 Down Circuit Road Extension - Pivotal Way



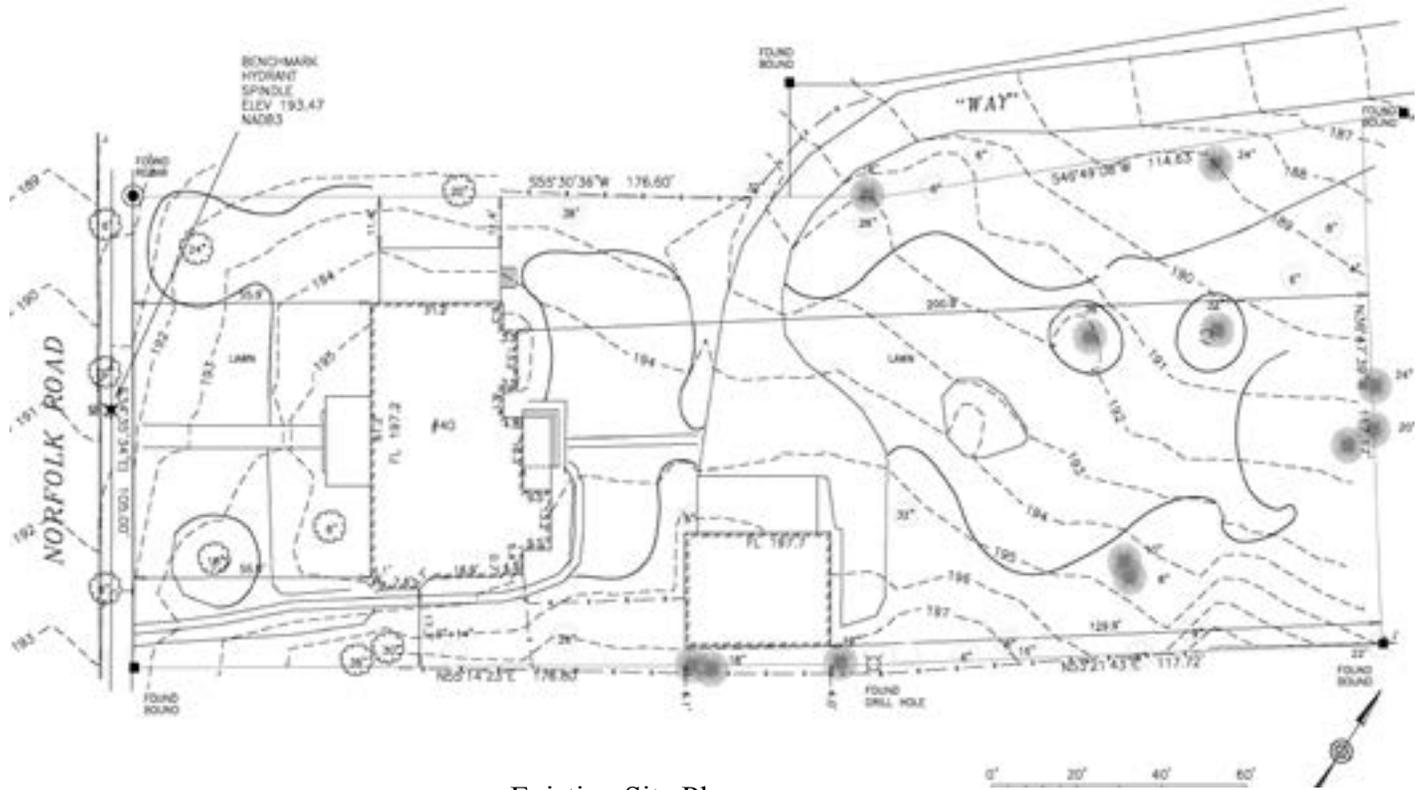
**Preliminary Findings:** The proposed southeast elevation additions, which are replacing the 1970s addition and alterations, are minimally visible from Circuit Road, Norfolk Road and Crafts Road. The addition at the northeast elevation will be minimally visible from Norfolk Road and Circuit Road. The proposed relocation and attachment of the garage to the house, by a new addition, is not in compliance with the design guidelines.



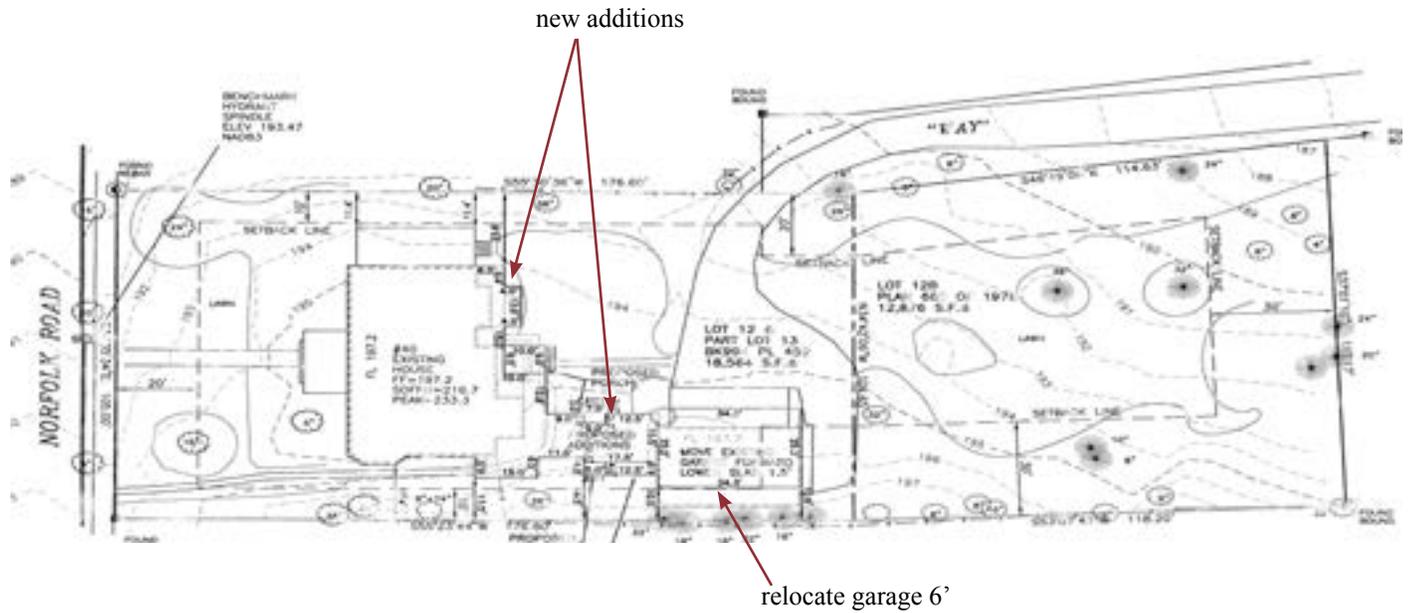
East elevation house and northeast corner of garage



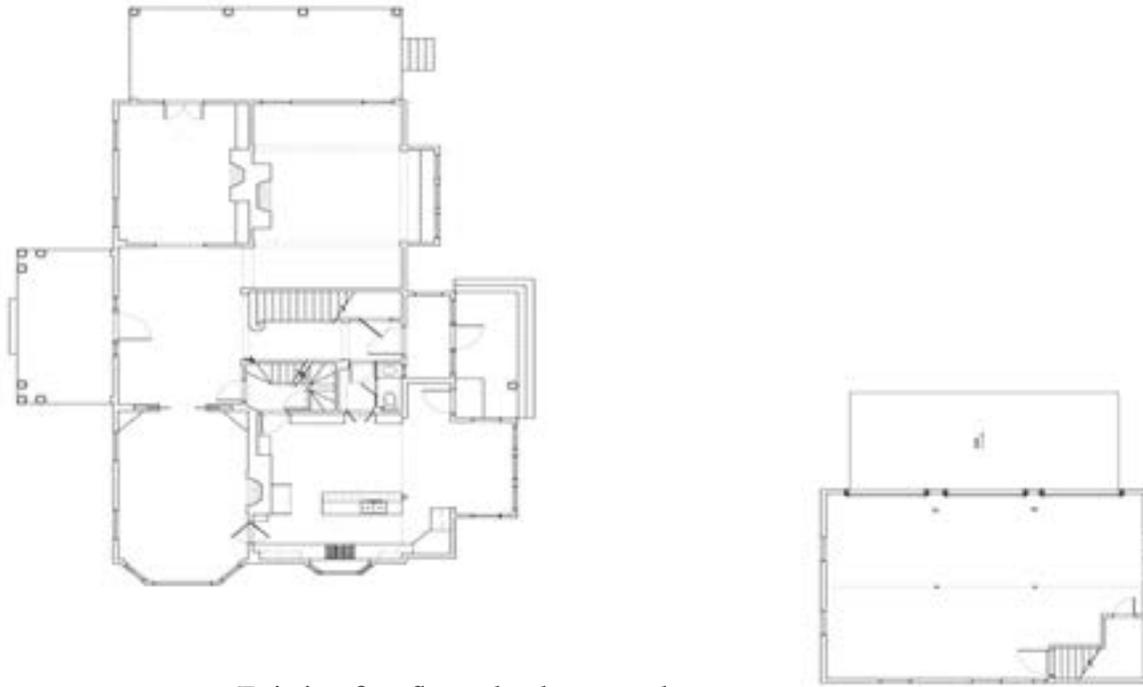
North elevation of garage



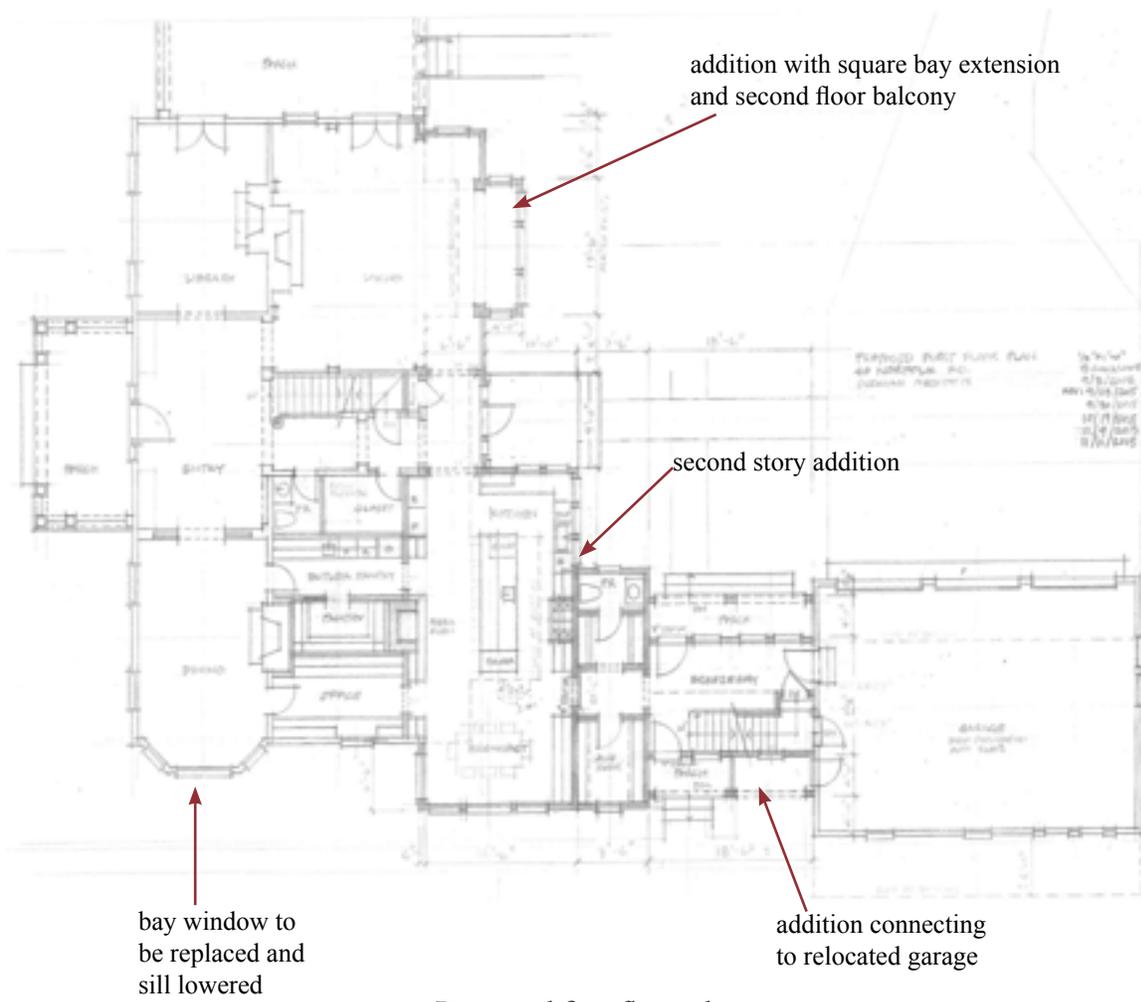
Existing Site Plan



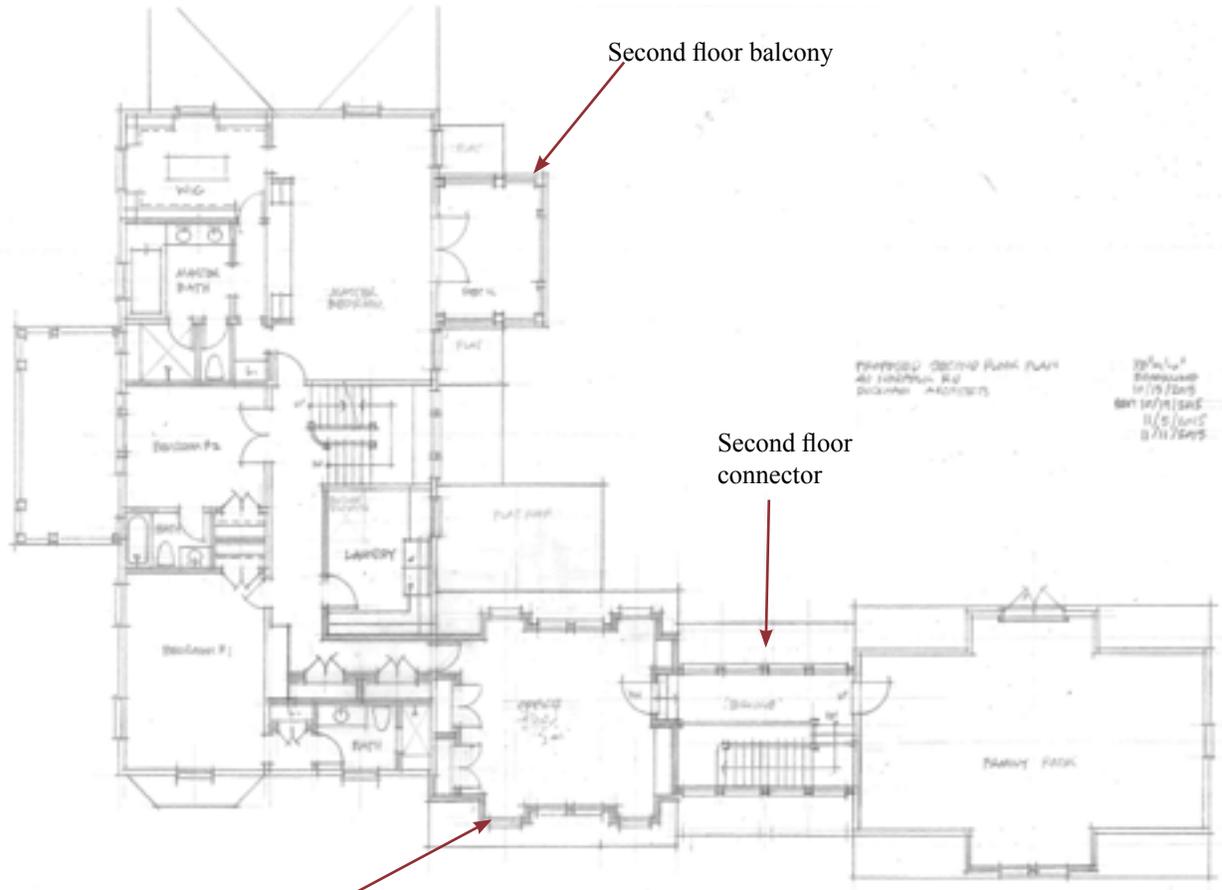
Proposed Site Plan



Existing first floor plan house and garage



Proposed first floor plan



Second story addition

Second floor balcony

Second floor connector

Proposed Second Floor Plan



Existing West (Norfolk Road facing) elevation



Proposed West (Norfolk Road facing) elevation



East elevation, photo taken from inside lot



Existing East elevation (minimally visible from Circuit Road)



Proposed East elevation (minimally visible from Circuit Road)



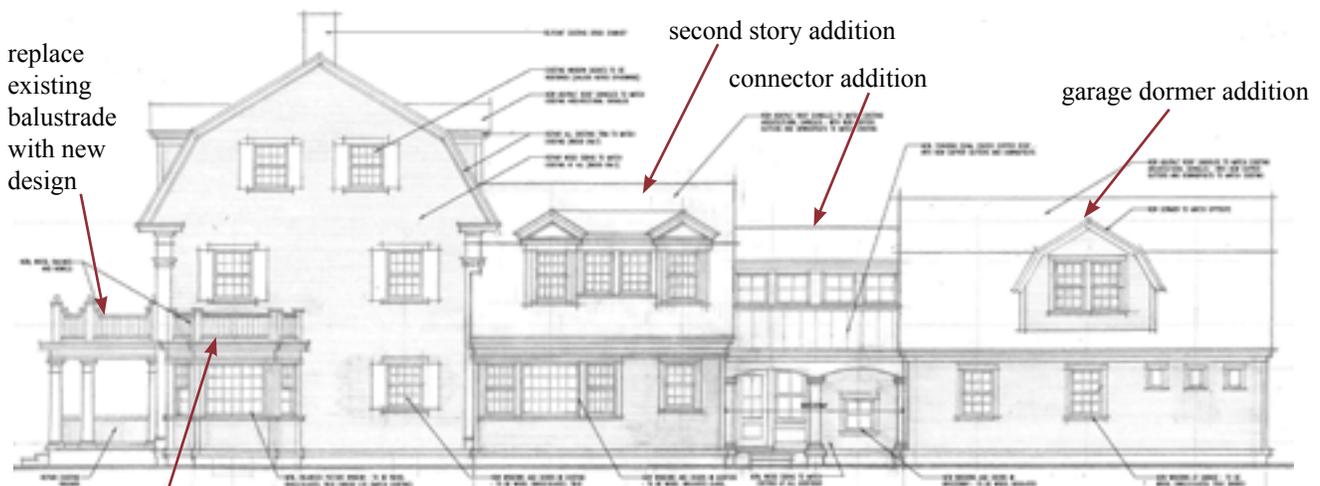
South elevation of house



South elevation of garage



Existing South Elevation



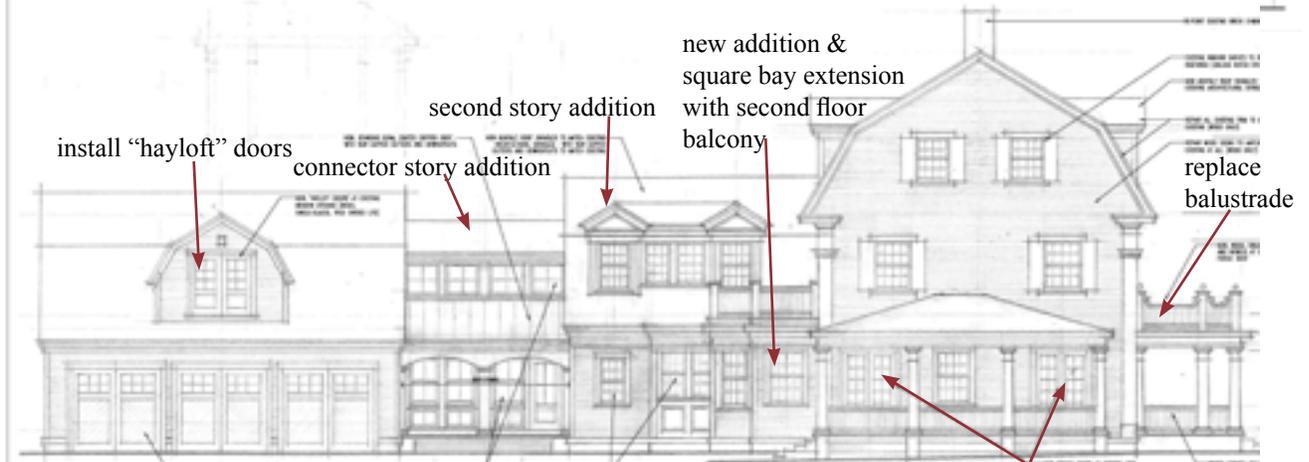
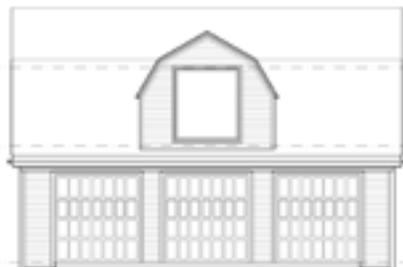
Proposed South elevation



North elevation house



North elevation garage photo taken within lot



Proposed North elevation



Proposed landscape plan



View looking Northwest from Norfolk Road



View looking Northwest from Norfolk Road



Existing balustrade and north porch railing details

Existing condition of garage



Photos showing interior of garage



Existing conditions of garage