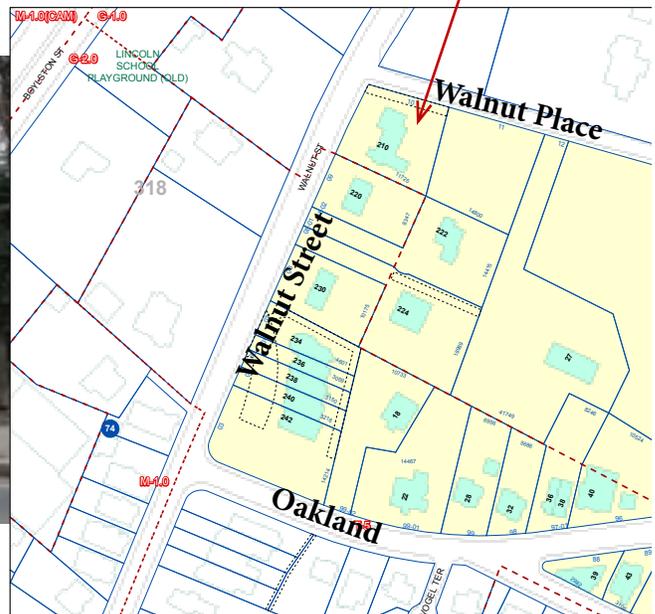


Brookline Preservation Commission Local Historic District Reports

Local Historic District: Pill Hill

Applicant: Creighton & Carolyn Page

Address: 210 Walnut Street



Summary Statement of Significance: In 1951 Richard French took out a permit to build a house on this lot. Before the house was built he evidently sold it to Dr. Howard Frank, who hired David Abrahams to design the present house. David Abrahams was a Boston architect who practiced under his own name from 1928-1945, and as Abrahams & Associates from 1946-1966. This group of post-war houses are unusual in the Pill Hill Historic District as they offer no reference to traditional historical styles. There was a mid-nineteenth century house on the lot behind this structure that was demolished. There was an addition on the west facade in 1956 by David Abrahams & Associates.

Dr. Howard Frank (1914-2004) was a surgeon who worked at Harvard Medical School and Beth Israel Hospital. He was an internationally renowned researcher in vascular and transplant surgery and innovator, working with Dr. Paul Zoll to refine pacemakers. He performed the second successful implant of a pacemaker. His wife Sally (1922-2015) worked at Children's and Beth Israel for over 50 years, eventually being in charge of grants in Hematology and Oncology.

Proposed Work: The applicant proposes to add a 200 s.f. addition, 12 feet 10 inches by 15 feet 11 inches to the end of the house facing Walnut Place. They also would like to build a storage area on the back wall of the carport and to attach a wooden carport screen- seen on the 19 plans. On the west elevation, the plans call for the relocation of existing windows. The applicants are doing additional work that is repair and replace in kind.

Statement of Applicable Guidelines: "Alterations and additions should be compatible with the character of the building and earlier additions in terms of size, scale, massing, material, location and detail. The original portion of the building and earlier additions should continue to be recognizable apart from the addition by means of massing, articulation of setbacks, trim and ornamental detail. Additions should be designed so that the primary elevations of the original building remain clearly delineated...New construction should respect the existing historic streetscape. The historic relationship of buildings to the street, including setbacks and open spaces, should be maintained...Missing architectural features should be documented as authentic by photographs, physical or historic evidence before they are reproduced."

Statement of Preliminary Findings: The proposed addition is compatible with the character of the existing mid-century modern house. It fits in well in the existing lot and streetscape. The overall project retains the majority of features and the massing of the original building. There was an addition in 1956 on the other side of the house.

The proposed screen on the carport is on the original plans. There are also bits of remaining board on the poles in the carport.

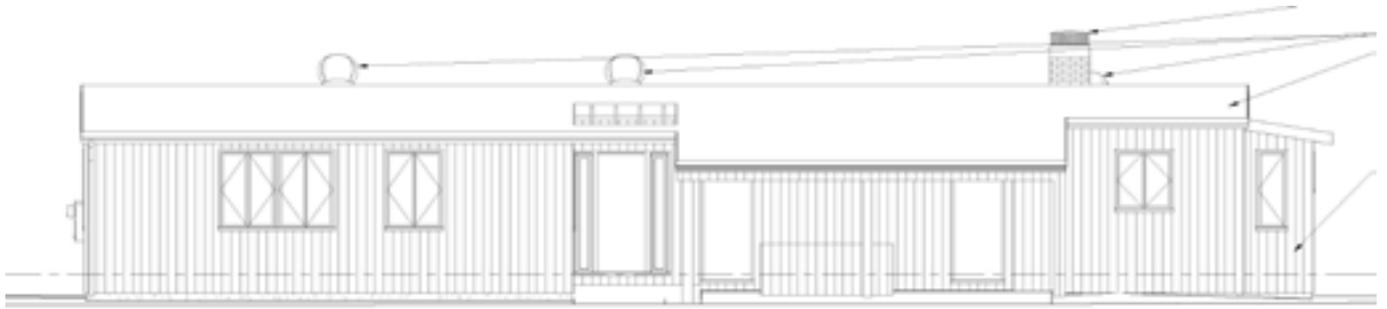
The proposed change in location to the windows is not on a primary facade and is in keeping with the overall design.



site of proposed addition

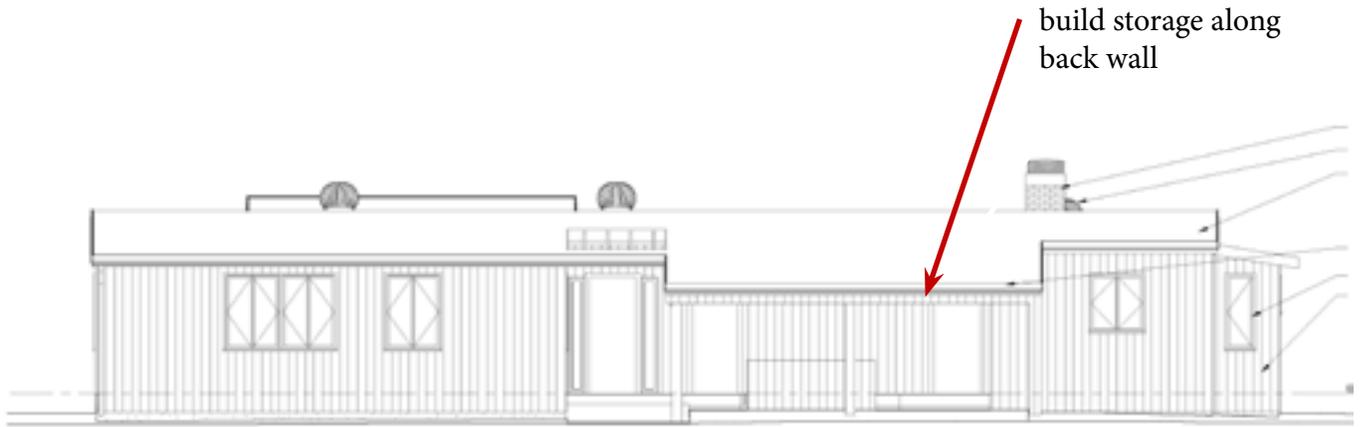
1956 addition

front facade/north



existing

1 NORTH (STREET SIDE) ELEVATION
SCALE 1/4"=1'-0"



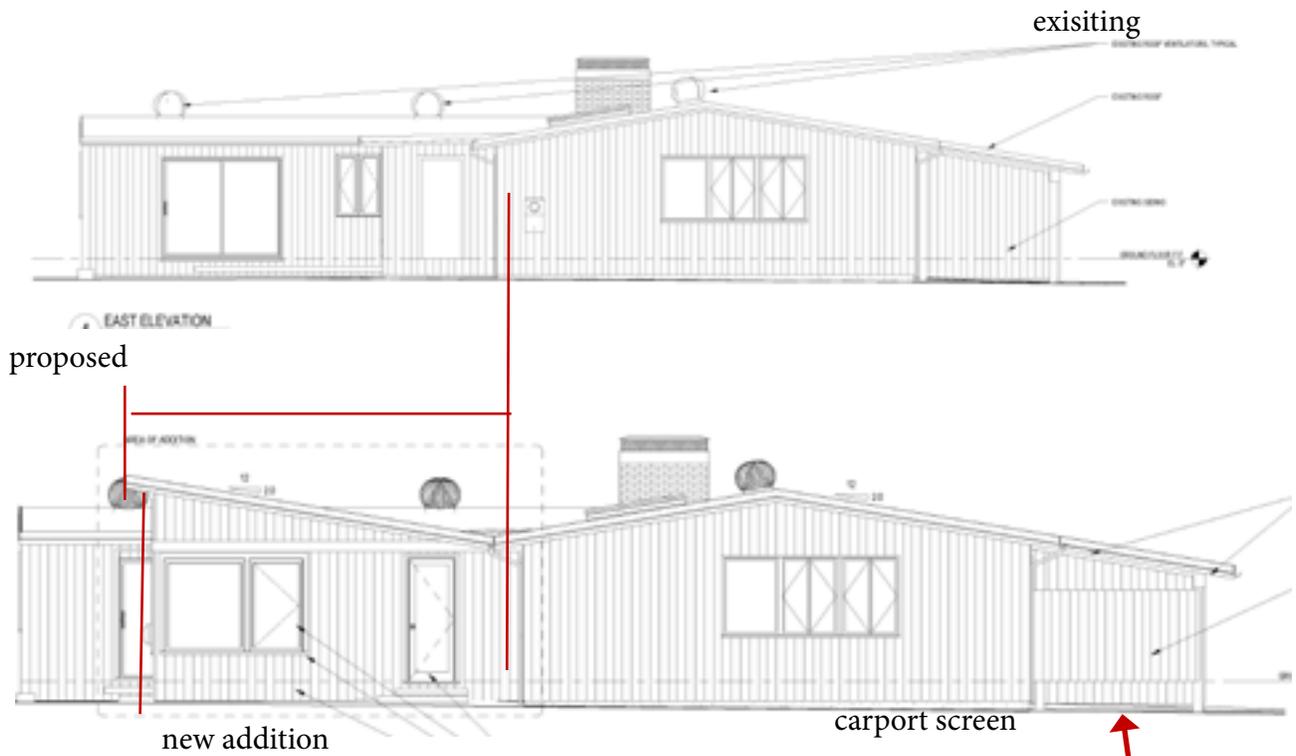
build storage along
back wall

1 NORTH (STREET SIDE) ELEVATION
SCALE 1/4"=1'-0"

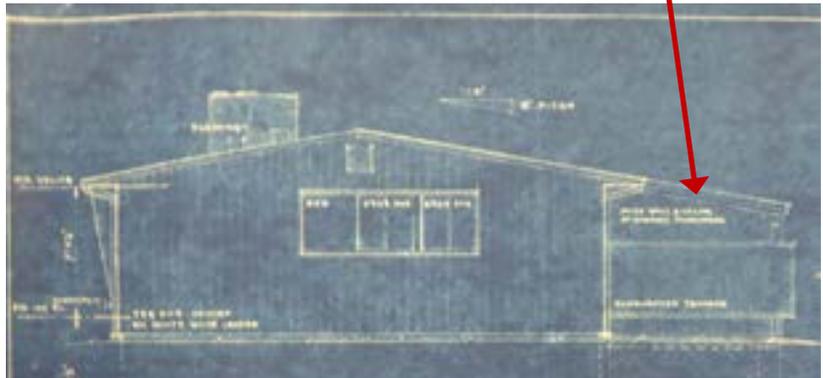
proposed



site of proposed
addition



1951 plans



West facade

