

Touloukian Touloukian Inc.

Architecture + Urban Design

151 Pearl Street, 2nd Floor
Boston, Massachusetts 02110

The Residences of South Brookline

Final Peer Review

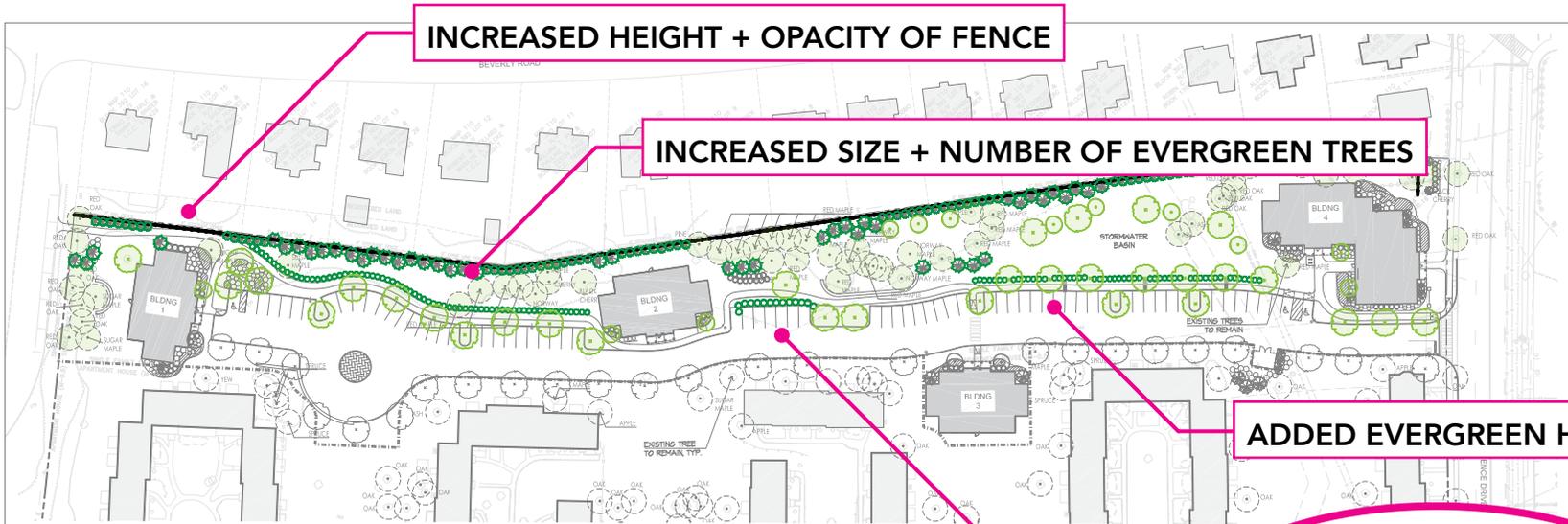
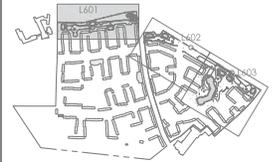
Brookline Zoning Board of Appeals
8 September 2014





224 Congress Street, 6th Floor
Boston, MA 02114
www.stantec.com
FAX: 617.533.8100

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. CD NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



- CONSIDER -
further study of effects of multiple vehicular lights on privacy of neighboring properties

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM A SURVEY PREPARED BY REED LAND SURVEYING OF LAKEVILLE, MASSACHUSETTS, DATED JUNE 8, 2009.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR CONTINUE UP
- CONTRACTOR TO CONSULT
- CONTRACTOR FOUNDATION
- MAXIMUM S NOTED.
- THE LANDS SUFFICIENT
- ALL MATTER NURSERY A
- ALL PLANT GRADED BE
- MULCH FOR BROWN IN C
- PLANTING PROPORTION RATES OF
- THE LANDS FULL YEAR
- ALL PLAN REPRESENT
- ALL AREAS SHALL BE I
- PLANT SPEC SELECTION AVAILABL OWNERS R

PLANTING LEGEND

- PROPERTY LINE
- TOIN LINE
- LIMIT OF WORK
- LEAVE LINE
- HIGH SOLID BOARD FENCE

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
DECIDUOUS TREES				
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	36	3-3 1/2" GAL
LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR	26	3-3 1/2" GAL
QP	QUERCUS BOREALIS	RED OAK	33	3-3 1/2" GAL
			38	3-3 1/2" GAL
				8'-10" PYRAMIDAL
				6'-8" PYRAMIDAL
				8'-10" PYRAMIDAL
				10-12' MULTI'
				3' GAL
				6-7' HT
				2-2 1/2" HT
				18-24" HT
				3 GAL
				4-4 1/2" HT
				2-2 1/2" HT
				2-2 1/2" HT
				4-5' PYRAMIDAL
				2-2 1/2" HT
				2 GAL
				2 1/2-3" HT
				3 GAL
				2 1/2-3" HT
				2-2 1/2" SPR
				3-3 1/2" HT



STORMWATER BASIN

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
	SCORPUS CYPERSIUS	AMERICAN WINDMILL GRASS		
	ELVEIRA GRANDES	SPOTTED ICE PIPE WEDD		
	EUPATORIUM MACULATUM	BONESET		
	ALISMA SUBCORDATUM	MUD PLANTAIN		
	ASTER PANICULATUS	PURPLE STEMMED ASTER		
	OLIVEIRA CANADENSIS	RATTLESNAKE GRASS		
	SORBUS VALDUS	SOFT STEM BULBUSH		
	ASOLEPAS INCARNATA	SWAMP MILKWEED		
	MIMULUS RINSENS	SQUARE STEMMED MONKEY FLOWER		

RATE: 18 LBS/ ACRE

VARIOUS EDITS	CEL	TPK	08.18.14
VARIOUS EDITS	AW/CL	TPK	07.11.14
VARIOUS EDITS	NHB	TPK	07.03.14
VARIOUS EDITS	NHB	TPK	06.22.14
VARIOUS EDITS	NHB	TPK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMK	TPK	11.28.13
Issued	By	Apprd.	MM.00.VY

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT SOUTH BROOKLINE
BROOKLINE, MA

Title
LANDSCAPE AND BUFFER PLAN WEST

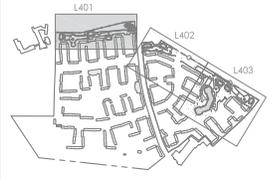
Project No. 210810271 Scale AS NOTED





228 Crossover Street, 6th Floor
Boston, MA U.S.A. 02114
www.stantec.com
P: 617.523.8103

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DD NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



MINIMIZED BERMS + FEATHERED GRADES

**- CONSIDER -
further review by
Civil/Stormwater Management
Peer Reviewer for alternative
drainage strategies**

**- CONSIDER -
techniques to lower the
proposed grading to be more
contiguous with existing
topography**

GRADING NOTES

- EXISTING CONDITIONS INFORMATION SHALL BE OBTAINED FROM REED LAND SURVEYING OF LAND SURVEYING COMPANY.
- PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION AT THE SITE, THE CONTRACTOR SHALL NOTIFY THE CITY OF BOSTON WITH A DISINFESTATION NUMBER INDICATING THAT ALL EXISTING CONDITIONS HAVE BEEN REMOVED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN GRADES TO PREVENT PONDING AT TRANSITION AREAS. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL EXISTING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 5:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICES.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4" HIGH ABOVE RIM ELEVATION SHOWN ON DRAWINGS.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY HANDBLES, CATCH BASINS, INLETS, ETC) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, SPECIFICALLY NOTED ON PLANS OR NOT.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



VARIOUS EDITS	CEL	TRK	08.19.14
VARIOUS EDITS	JM/CL	TRK	07.11.14
VARIOUS EDITS	NRE	TRK	07.03.14
VARIOUS EDITS	NRE	TRK	06.22.14
VARIOUS EDITS	NRE	TRK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMA	TRK	11.26.13
Issued	By	Appr.	MM.05.14

Prepared	JMS	CEL	TRK	08.05.14
Checked	DMC	CEL	TRK	08.05.14
Designed	DMC	CEL	TRK	08.05.14

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT
SOUTH BROOKLINE
BROOKLINE, MA

Title
GRADING PLAN WEST

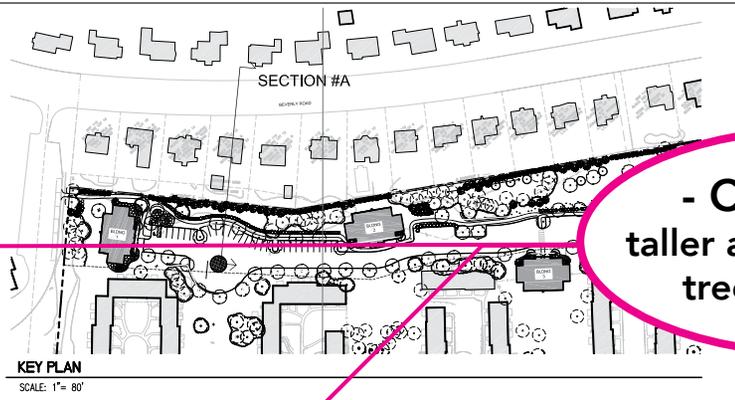
Project No. 210810271 Scale AS NOTED

Drawing No. L401

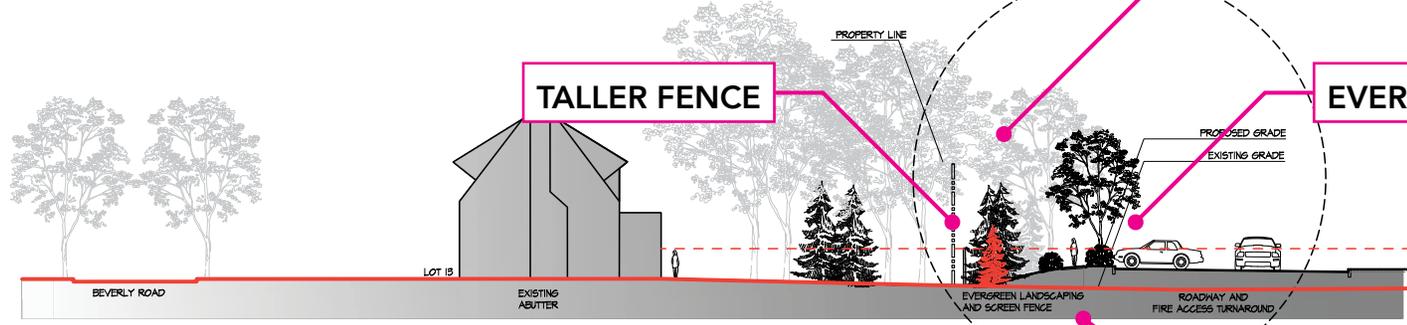
PLANT SCHEDULE

L601

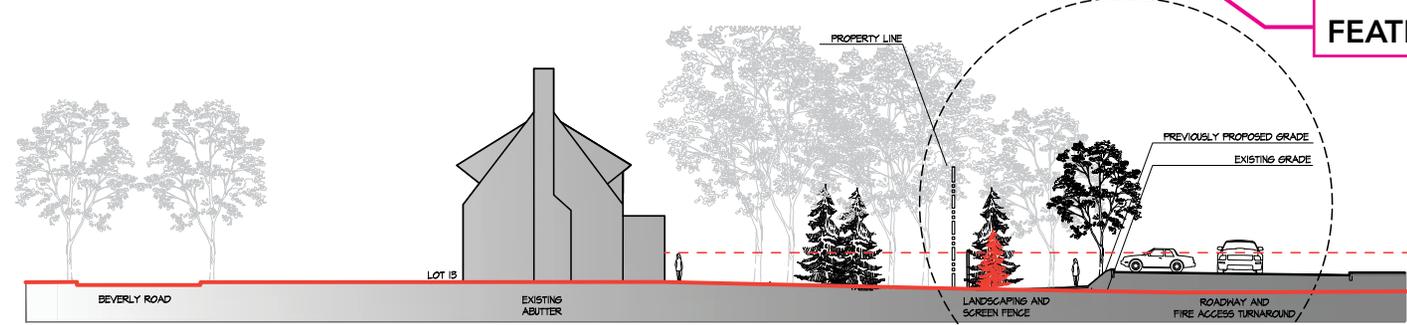
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
DECIDUOUS TREES				
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	36	3-3 1/2" CAL
LT	LIRIODENDRON TULIPIFERA	TULIP POPLAR	26	3-3 1/2" CAL
QP	QUERCUS BOREALIS	RED OAK	33	3-3 1/2" CAL
PC	PYRUS C. CLEVELAND SELECT	CLEVELAND FLOWERING PEAR	32	3-3 1/2" CAL
EVERGREEN TREES				
PA	PICEA ABIES	NORWAY SPRUCE	57	8'-10' PYRAMIDAL
PS	PINUS STROBUS 'FASTIGIATE'	WHITE PINE	67	8'-10' PYRAMIDAL
TP	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	105	8'-10' PYRAMIDAL
ORNAMENTAL TREES				
BN	BETULA NIGRA HERITAGE	HERITAGE BIRCH MULTISTEM	15	10-12 MULTI'
CK	CORNUS KOUSA	KOUSA DOGWOOD	20	3" CAL
PO	PRUNUS OKAME	OKAME CHERRY	26	3" CAL
ML	MAGNOLIA 'LEONARD MESSELL'	LEONARD MESSELL MAGNOLIA	13	6-7' HT
SHRUBS				



**- CONSIDER -
taller and more mature
trees at planting**



1 SITE SECTION A - REVISED PROPOSED
SCALE: 3/32" = 1'-0"



2 SITE SECTION A - PREVIOUSLY PROPOSED
SCALE: 3/32" = 1'-0"

VARIOUS EDITS	CEL	TPK	08.22.14
VARIOUS EDITS	JM/CL	TPK	07.11.14
VARIOUS EDITS	NHB	TPK	07.03.14
VARIOUS EDITS	NHB	TPK	06.22.14
VARIOUS EDITS	NHB	TPK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMK	TPK	11.28.13
	By	Appr.	06.05.11

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES OF
SOUTH BROOKLINE
BROOKLINE, MA

Title
SITE SECTIONS

Project No. 210810271 Scale AS NOTED

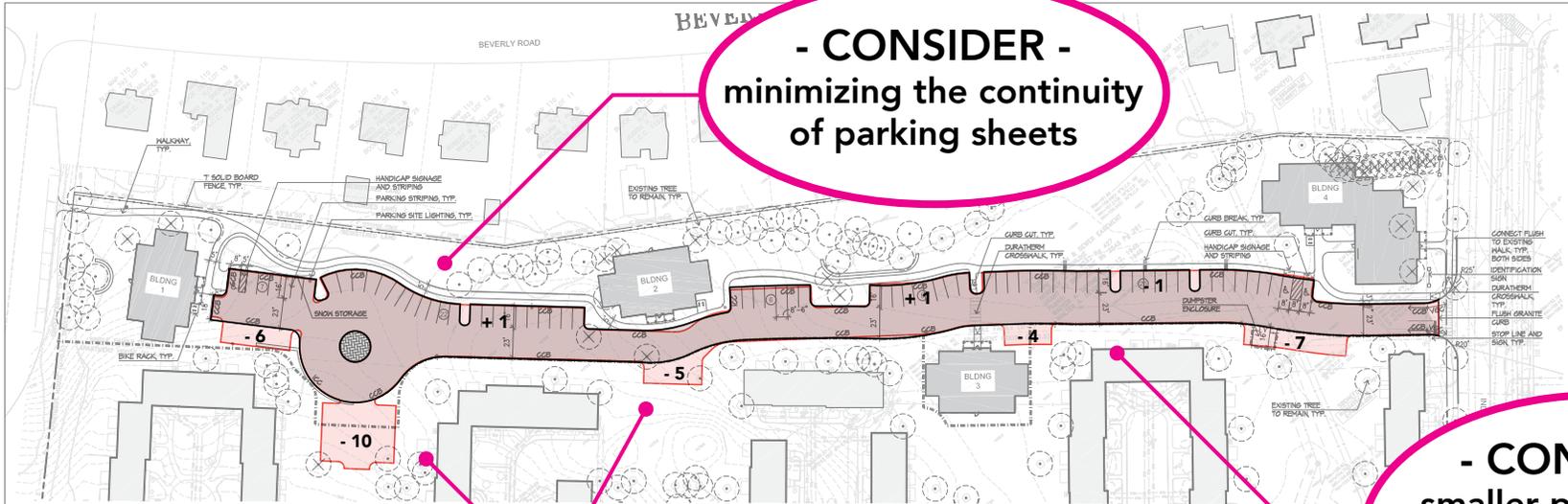
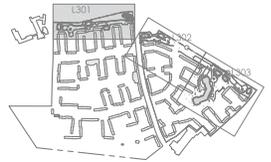
Drawing No. L901a

L3A



228 Coughway Street, 6th Floor
Boston, MA 02114
www.stantec.com
P.617.523.8103

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



REMOVED 31 PARKING SPACES

- CONSIDER - smaller parking fields connected by access drives and accessible walkways

LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM A SURVEY PREPARED BY REED LAND SURVEYING OF LAKEVILLE, MASSACHUSETTS, DATED JUNE 8, 2008.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISAINT AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CORRECT THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF BROOKLINE AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PADS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, PROVISION 3.9 MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL, UNLESS OTHERWISE NOTED ON THE PLAN. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT DRIVE LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINDED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION SHALL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- ALL CURB RADIUS TO BE 9' UNLESS OTHERWISE NOTED.

LAYOUT AND MATERIALS LEGEND

- PROPERTY LINE
- - - TOWN LINE
- LEASE LINE
- PARKING SITE LIGHTING
- BITUMINOUS CONCRETE PAVEMENT
- VERTICAL GRANITE CURB
- CAPE COD BERM
- PARKING SPACE COAT
- RETAINING WALL
- SIGN MALL SIMILAR TO EXISTING
- EXISTING TREE TO BE SAVED
- EXISTING TREE TO BE REMOVED
- 6' HIGH SCREEN FENCE
- BIKE RACK
- ROCK FACE

VARIOUS EDITS	CEL	TRK	08.19.14
VARIOUS EDITS	JM/CL	TRK	07.11.14
VARIOUS EDITS	NMB	TRK	07.03.14
VARIOUS EDITS	NMB	TRK	06.22.14
VARIOUS EDITS	NMB	TRK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMK	TRK	11.28.13
Issued	By	Appd.	M05.00.YY

By Name	JVC	CM	Drawn	Checked	DATE
Permit-Stamp					

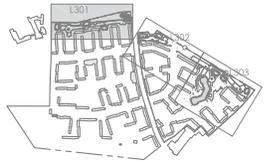
Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT SOUTH BROOKLINE
BROOKLINE, MA
Title
LAYOUT PLAN WEST

Project No. 210810271 Scale AS NOTED



228 Causeway Street, 8th Floor
Boston MA 02114
www.stantec.com
P.617.532.8103

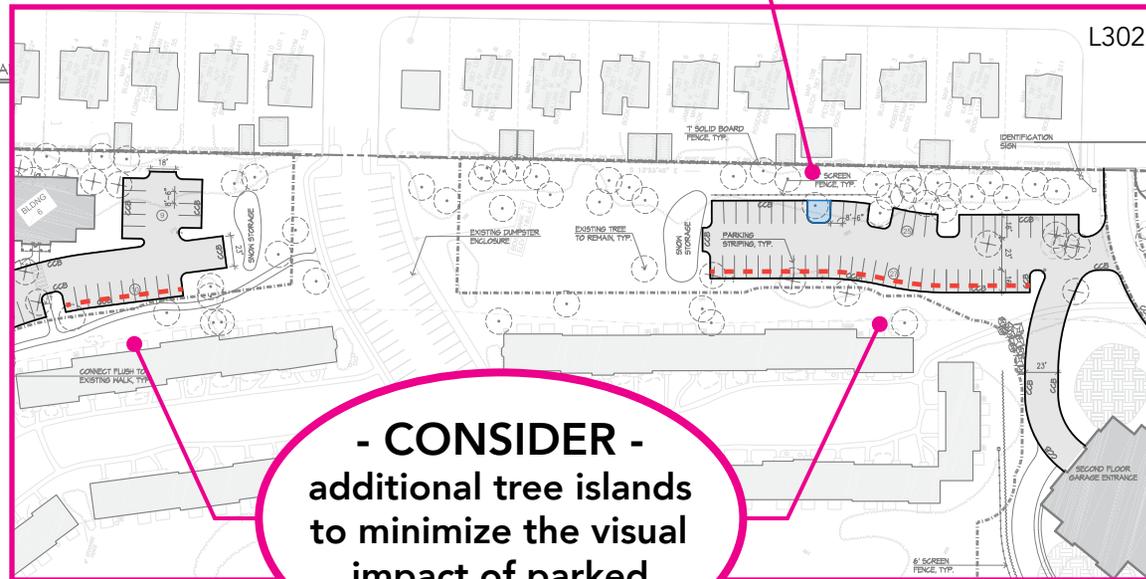
Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



LAYOUT AND MATERIALS NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM A SURVEY PREPARED BY REED LAND SURVEYING OF LAKEVILLE, MASSACHUSETTS, DATED JUNE 8, 2009.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISSEASE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CORRECT THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF BROOKLINE AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING INCLUDING SIDEWALKS, STAIRS, UTILITY ENTRANCE LOCATIONS, HALL PAGES, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, PRIOR TO BIDDING OR CONSTRUCTION.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL, UNLESS OTHERWISE NOTED ON THE PLAN. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT DRIVE LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINDED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION SHALL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- ALL CURB PADS TO BE 9' UNLESS OTHERWISE NOTED.

LAYOUT A



**- CONSIDER -
additional tree islands
to minimize the visual
impact of parked
vehicles**

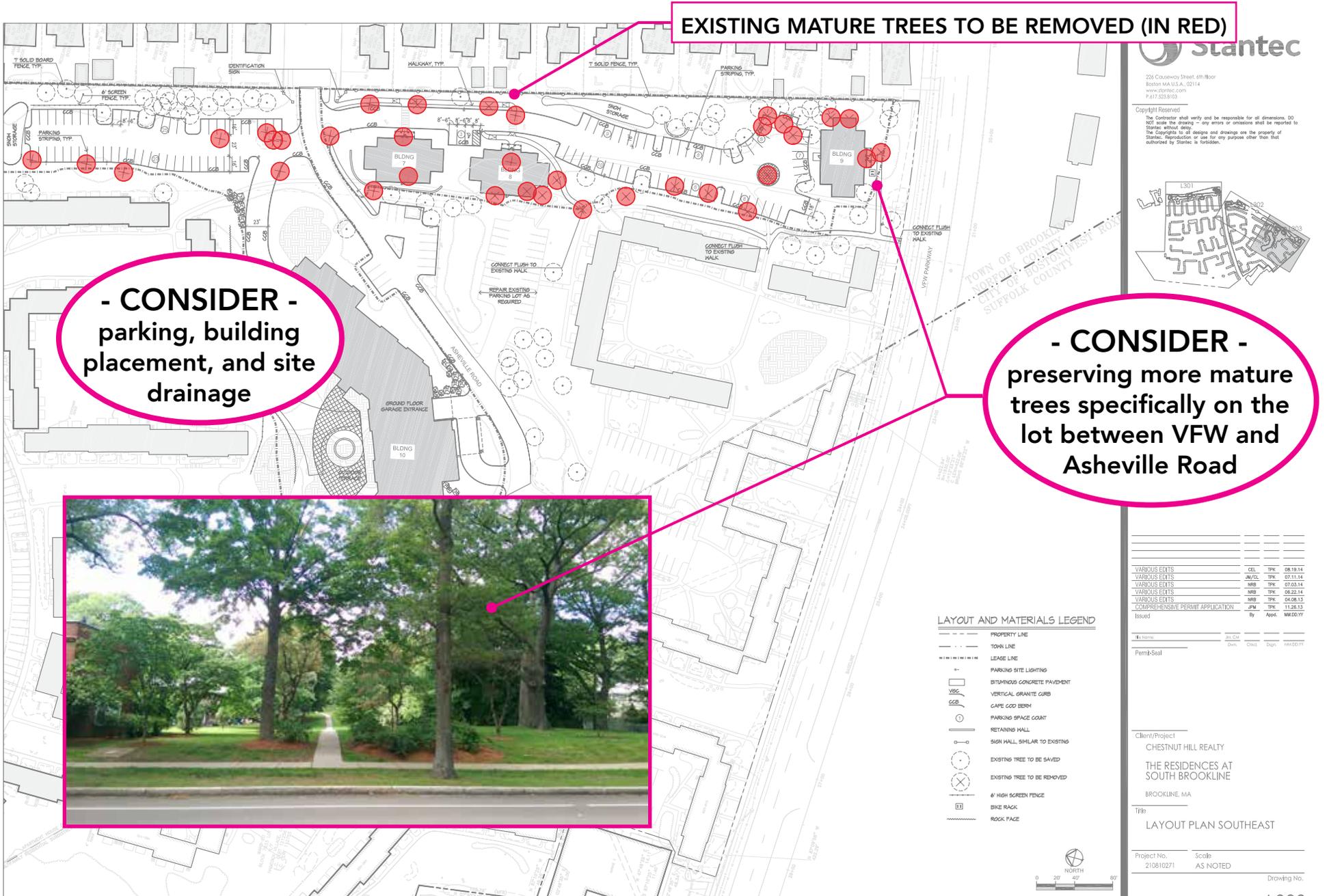
VARIOUS EDITS	CEL	TRK	08.19.14
VARIOUS EDITS	JM/CL	TRK	07.11.14
VARIOUS EDITS	NMB	TRK	07.03.14
VARIOUS EDITS	NMB	TRK	06.22.14
VARIOUS EDITS	NMB	TRK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMK	TRK	11.28.13
Issued	By	Appr.	MM.02.17
By Name	JMK	CLM	
Date	08/08/14	DRN	08/08/14

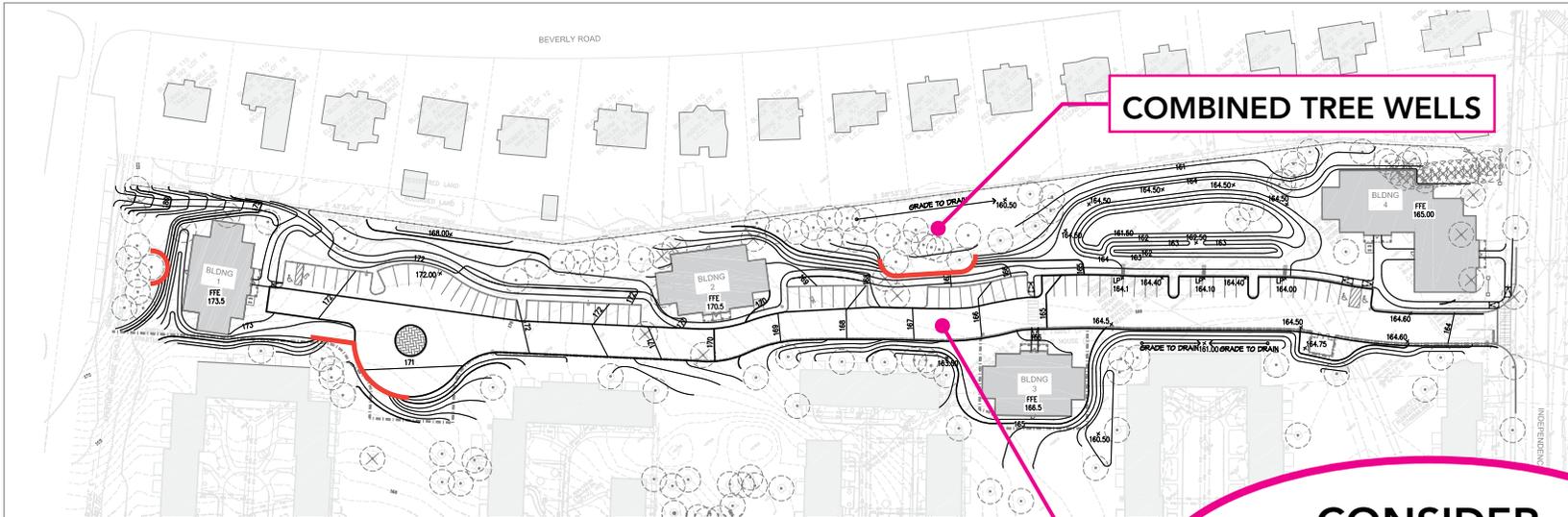
Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT
SOUTH BROOKLINE
BROOKLINE, MA
Title
LAYOUT PLAN WEST

Project No. 210810271 Scale AS NOTED

Drawing No.

L301





GRADING NOTES

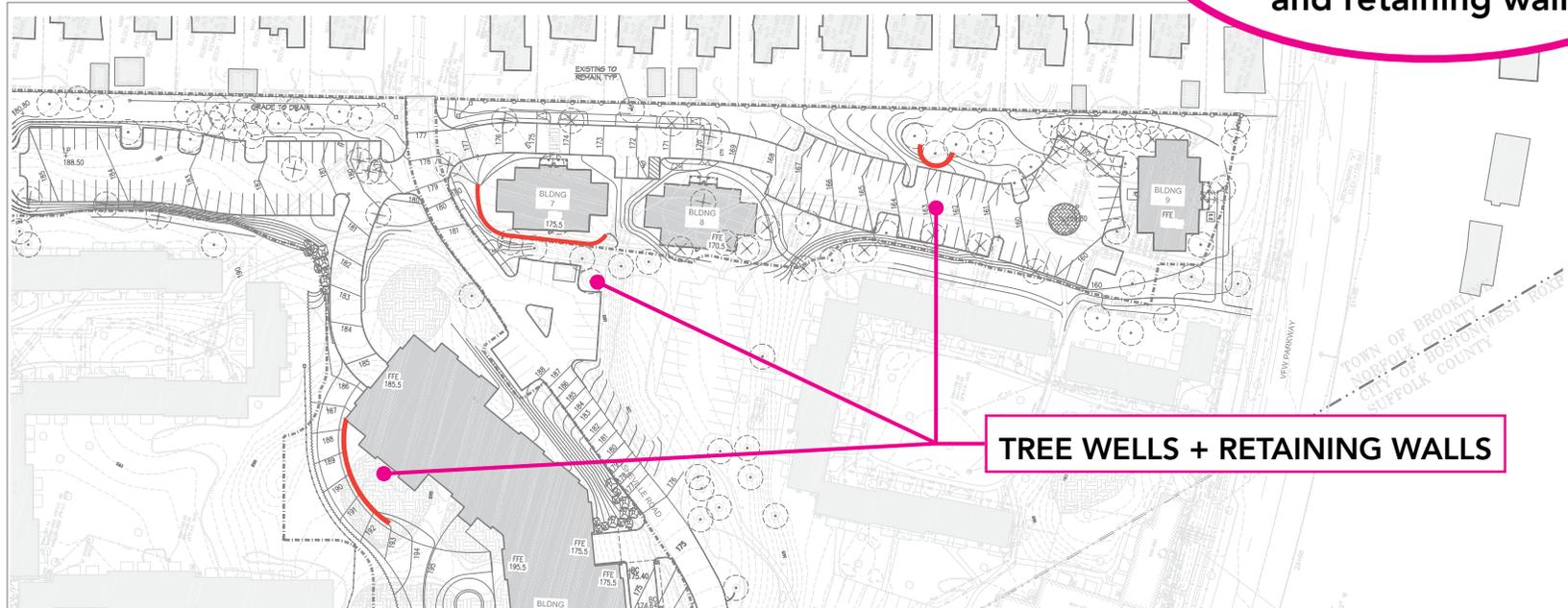
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM A SURVEY PREPARED BY REED LAND SURVEYING OF LAKEVILLE, MASSACHUSETTS, DATED JUNE 8, 2006.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL VERIFY POSSIBLE EXISTING UTILITIES WITH A

GRADING LEGEND

- PROPERTY LINE
- TOWN LINE

COMBINED TREE WELLS

**- CONSIDER -
regrading to maintain existing
trees and removing tree wells
and retaining walls**

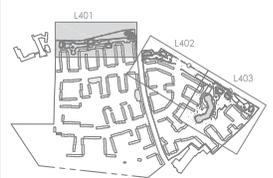


TREE WELLS + RETAINING WALLS



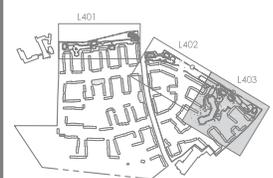
225 Causeway Street, 6th Floor
Boston MA U.S.A., 02114
www.stantec.com
P: 617.523.8103

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



225 Causeway Street, 6th Floor
Boston MA U.S.A., 02114
www.stantec.com
P: 617.523.8103

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.







DEVELOPED ALTERNATE FACADE DESIGN WITH SIDING AND BRICK AND ALL-BRICK FACADES



- CONSIDER -
developing architectural
quality for low-rise
buildings

- CONSIDER -
painted aluminum windows
instead of vinyl



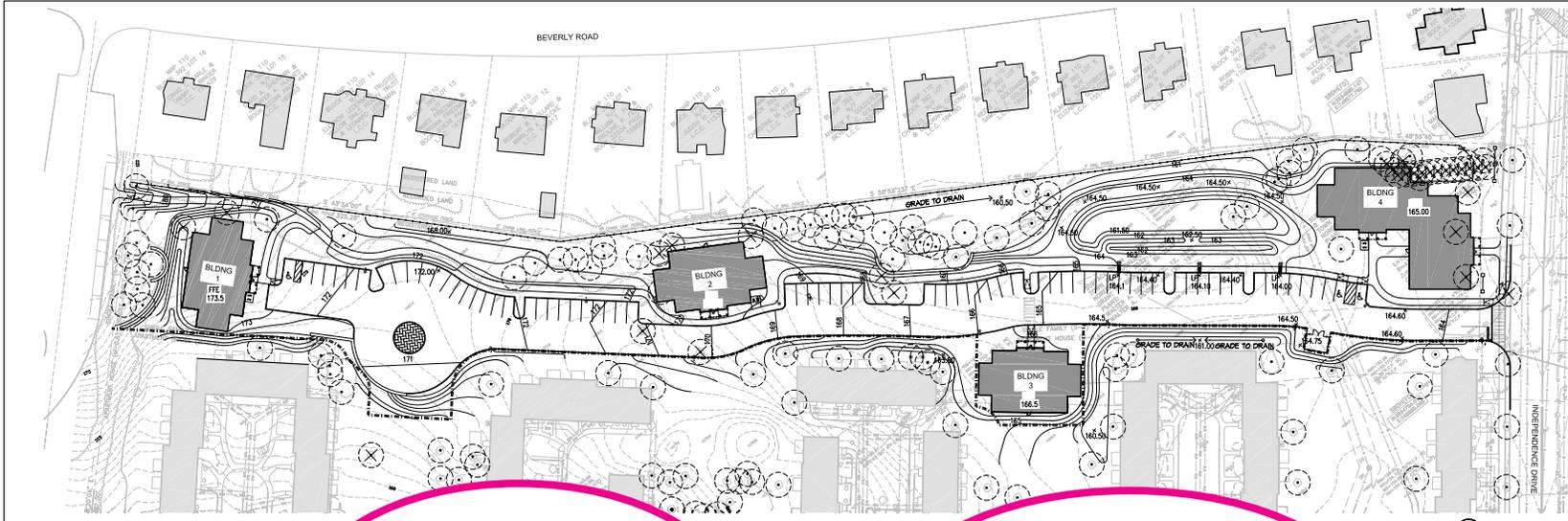
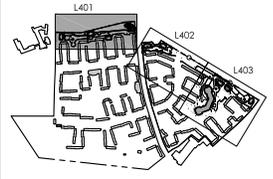
- CONSIDER -
developing architectural
details of "side elevations"
seen from
the public way





228 Crouseway Street, 6th Floor
Boston MA U.S.A. 02114
www.stantec.com
P: 617.523.8100

Copyright Reserved
The contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all design and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

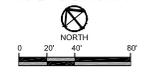


GRADING NOTES

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM A SURVEY PREP BY REED LAND SURVEYING OF LAKEVILLE, MASSACHUSETTS, DATED JUNE 8, 2011.
2. PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY GOSAGE AND BE PROVIDED A DISINFESTATION NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
3. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. POCKETS AT TRANSITION AREAS WILL NOT BE ALLOWED.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
5. MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 5:1 UNLESS OTHERWISE NOTED.
6. ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICES.
7. CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
8. BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4" HIGH ABOVE FIN ELEVATION SHOWN ON DRAWINGS.
9. CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY HANGERS, CATCH BASINS, INLETS, ETC) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
10. SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

**- CONSIDER -
an existing tree
protection plan for
revised design**

**- CONSIDER -
bike racks to accommodate
alternative modes of
transportation**



VARIOUS EDITS	CEL	TPK	08.19.14
VARIOUS EDITS	JW/CL	TPK	07.11.14
VARIOUS EDITS	NBE	TPK	07.03.14
VARIOUS EDITS	NBE	TPK	06.22.14
VARIOUS EDITS	NBE	TPK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JWA	TPK	11.26.13
Issued	By	Appl.	MM/05/17

Permit-Seal

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT
SOUTH BROOKLINE
BROOKLINE, MA

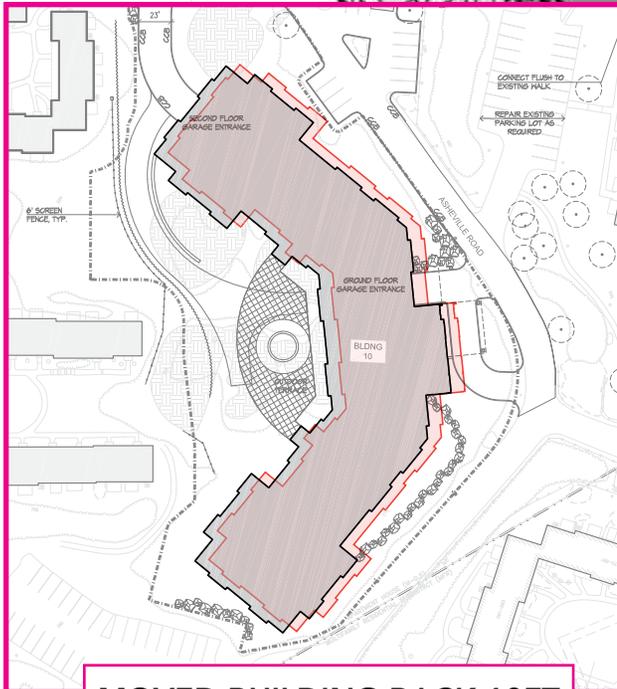
Title
GRADING PLAN WEST

Project No. 210810271 Scale AS NOTED

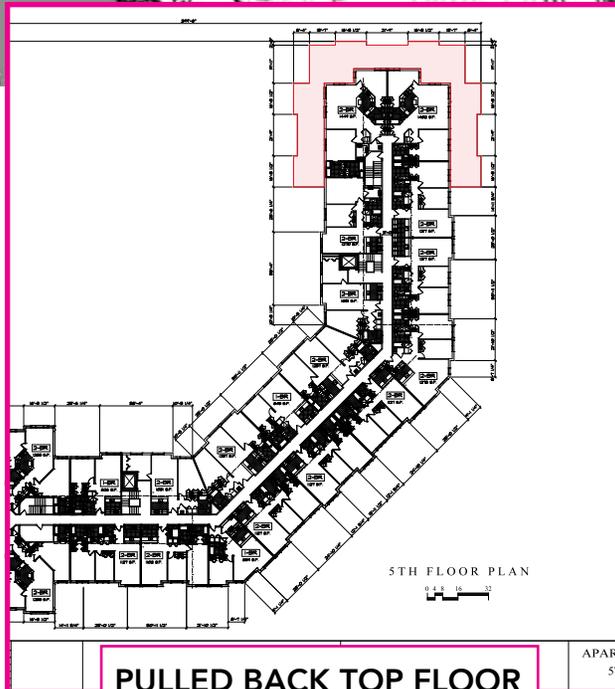
Drawing No. L401

**ELIMINATED 18
PARKING SPACES**

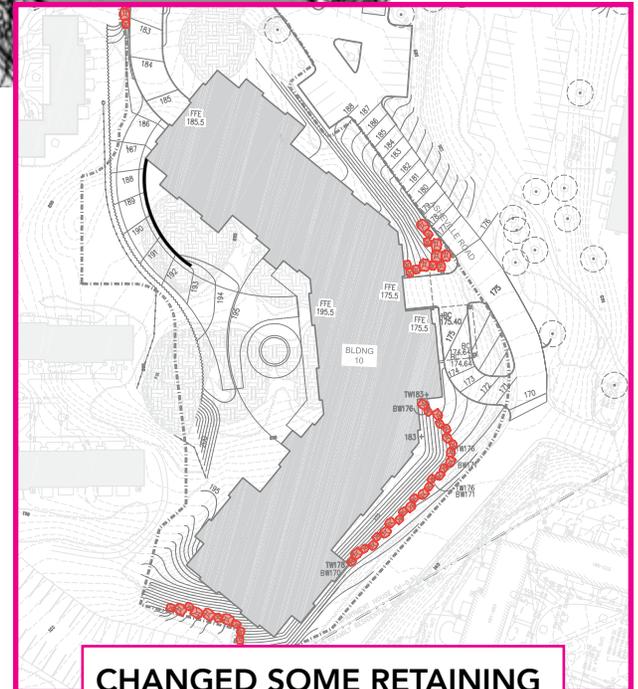
Eliminated
parking and
realigned
driveway;
landscape buffer
improved



MOVED BUILDING BACK 10FT



**PULLED BACK TOP FLOOR
IN SELECT LOCATIONS**



**CHANGED SOME RETAINING
WALLS TO ROCK WALLS**



**VISUAL IMPACT REDUCED WITH
PRESERVATION OF EXISTING TREES**

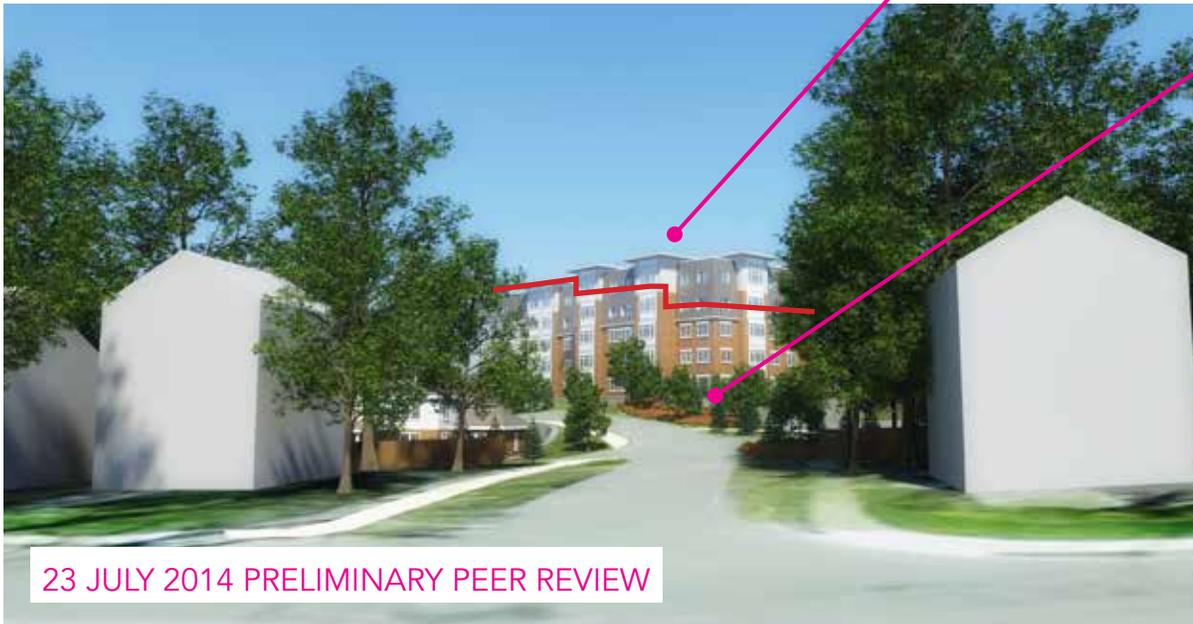






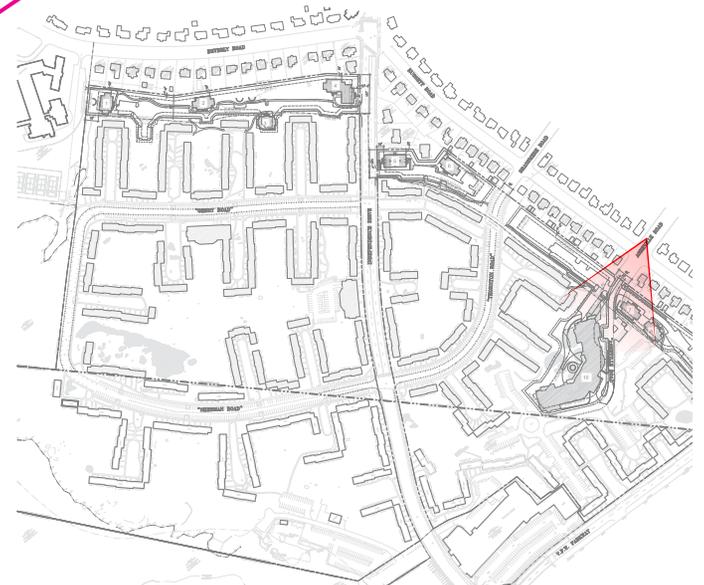
**- CONSIDER -
existing residential
character**

View from Asheville Road - Present



**- CONSIDER -
Stepping building with
sloping grade**

**- CONSIDER -
More mature trees for
increased landscape
buffer**



23 JULY 2014 PRELIMINARY PEER REVIEW





- CONSIDER -
stepping the building and
removing 5th story visible
from Asheville Road

TYPICAL EXTERIOR MATERIALS
MEMBRANE ROOFING SYSTEM
FIBERGLASS INSULATION OR STEELING BEAM
METAL ATTACHED ROOFS - TPO
BRICK MASONRY
VINYL GLAZ OR VINYL FIBROUS
FIBER CONCRETE PANELS
PRECAST CONC. WITH LIMEWASH COLOR

SOUTH ELEVATION

- CONSIDER -
firewall between
construction types

PROJECT NO.	1310-001	REVISION NO.	01/14
DATE	01/14/14	PROJECT NAME	THE RESIDENCES OF SOUTH BROOKLINE
DRAWN BY	AK	ARCHITECT	LOWE ASSOCIATES - ARCHITECTS
CHECKED BY	AK	ADDRESS	643 VFW PARKWAY, SUITE 200 CHESTNUT HILL, MASSACHUSETTS 02157
DATE	01/14/14	PHONE	(617) 323-0078
SCALE	1/8" = 1'-0"	FAX	(617) 323-8670

NO DESIGNATED PEDESTRIAN ACCESS TO APARTMENT BUILDING

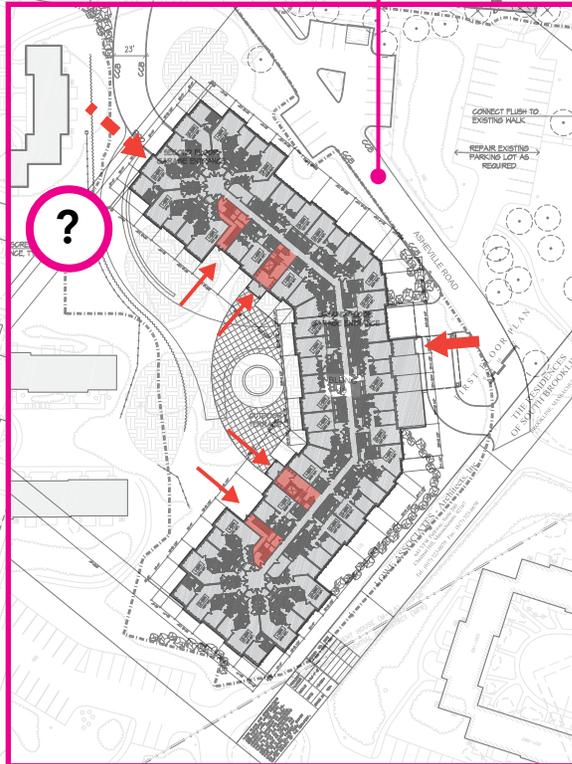
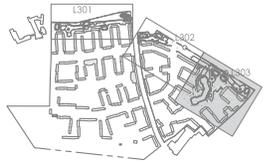
**- CONSIDER -
improving pedestrian
safety by providing
pedestrian access**

**- CONSIDER -
paths and sidewalks**

**NO DESIGNATED PEDESTRIAN
ACCESS TO APARTMENT BUILDING**



228 Causeway Street, 8th Floor
Boston, MA 02114
www.stantec.com
P: 617.523.8100
Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

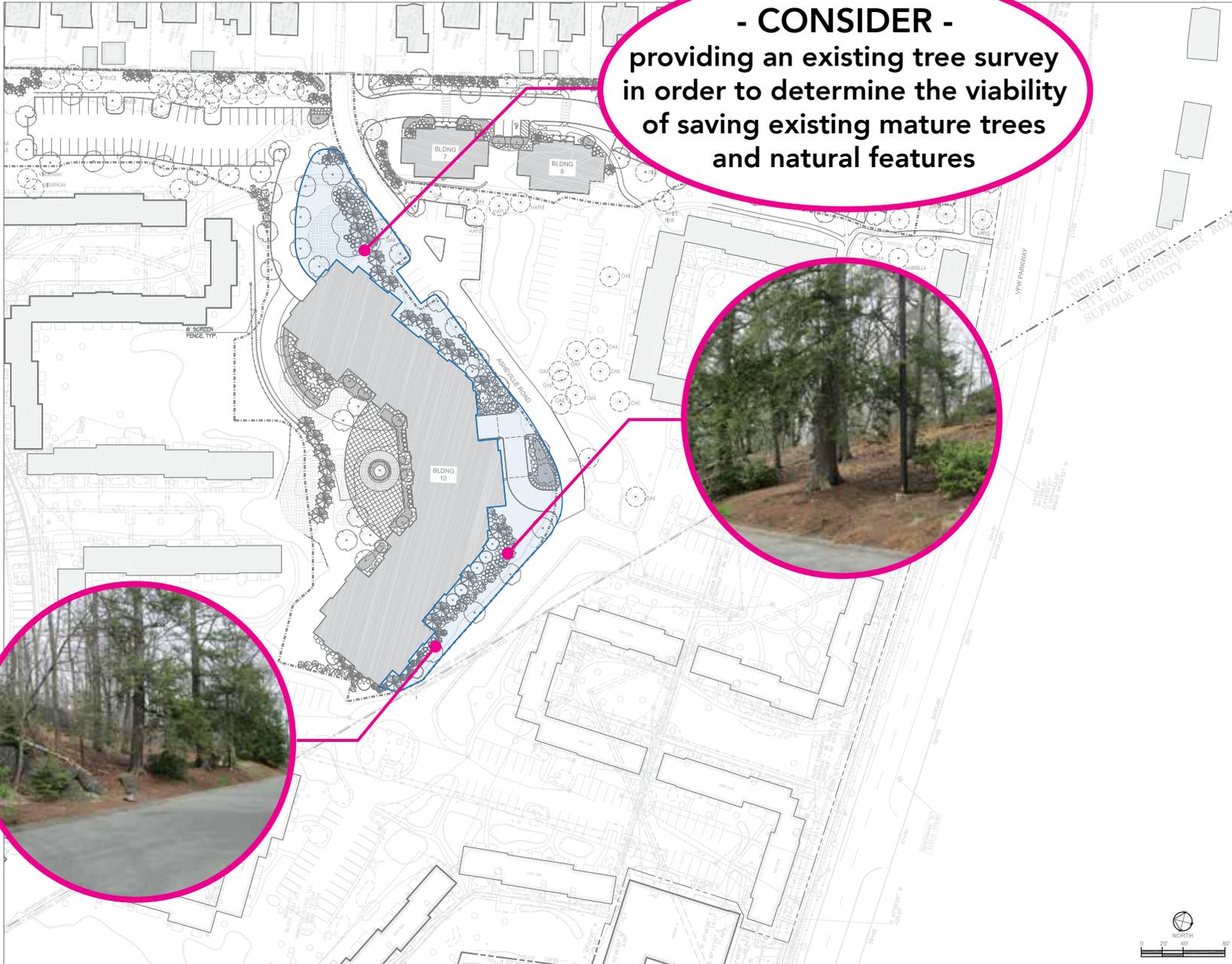


CEL	TPK	08.19.14
SA/CL	TPK	07.11.14
NIB	TPK	07.03.14
NIB	TPK	06.22.14
NIB	TPK	04.08.13
JMK	TPK	11.28.13
By	Appd.	MM.00.YY
JVC	Dirct.	MM.00.YY

HILL REALTY
RESIDENCES AT
SOUTH BROOKLINE
MA
LAYOUT PLAN SOUTHEAST



Project No. 210810271 Scale AS NOTED
Drawing No.

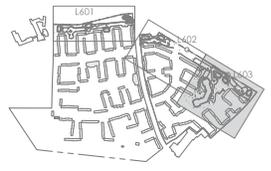


- CONSIDER -
providing an existing tree survey
in order to determine the viability
of saving existing mature trees
and natural features



222 Congress Street, 6th Floor
Boston, MA 02114
www.stantec.com
P.617.533.8100

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.
The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.



VARIOUS EDITS	CEL	TPK	08.19.14
VARIOUS EDITS	JM/CL	TPK	07.11.14
VARIOUS EDITS	NHB	TPK	07.03.14
VARIOUS EDITS	NHB	TPK	06.22.14
VARIOUS EDITS	NHB	TPK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JPM	TPK	11.28.13
Issued	By	Appr.	MM.00.YY
14 Name:	JVC/CM	_____	_____
Perm-Stamp	Drawn	Checked	Design

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT
SOUTH BROOKLINE
BROOKLINE, MA

Title
LANDSCAPE AND BUFFER
PLAN SOUTHEAST

Project No. 210810271 Scale AS NOTED



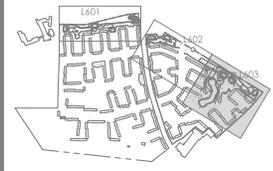
- CONSIDER -
further adjustments to save
more mature trees

**PROPOSED PLANTING PLAN SHOWS NO
EXISTING TREES TO REMAIN. PLEASE CLARIFY.**



222 Congress Street, 6th Floor
Boston, MA 02114
www.stantec.com
P.617.533.8100

Copyright Reserved
The Contractor shall verify and be responsible for all dimensions. GD
NOT scale the drawing - any errors or omissions shall be reported to
Stantec without delay.
The Copyrights to all designs and drawings are the property of
Stantec. Reproduction or use for any purpose other than that
authorized by Stantec is forbidden.



VARIOUS EDITS	CEL	TPK	08.19.14
VARIOUS EDITS	JM/CL	TPK	07.11.14
VARIOUS EDITS	NIB	TPK	07.03.14
VARIOUS EDITS	NIB	TPK	06.22.14
VARIOUS EDITS	NIB	TPK	04.08.13
COMPREHENSIVE PERMIT APPLICATION	JMK	TPK	11.28.13
Issued	By	Appr.	MM.00.YY

14 Name: JMK
Title: Dirn
Date: 08/08/14

Client/Project
CHESTNUT HILL REALTY
THE RESIDENCES AT
SOUTH BROOKLINE
BROOKLINE, MA

Title
LANDSCAPE AND BUFFER
PLAN SOUTHEAST

Project No. 210810271
Scale AS NOTED





- CONSIDER -
improving quality of materials such as painted aluminum instead of vinyl windows, precast or cast stone instead of fiber cement panels

TYPICAL EXTERIOR MATERIALS:

- MEMBRANE ROOFING SYSTEM
- FIBERGLASS SHINGLE OR STANDING SEAM METAL AT HANGAR ROOFS - TBD
- BRICK MASONRY
- VINYL CLAD OR VINYL WINDOWS
- FIBER CEMENT PANELS
- PRECAST CONC. WITH LIMESTONE COLOR



SOUTH ELEVATION

- CONSIDER -
developing architectural quality

THESE PLANS AND SPECIFICATIONS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. © LOWE ASSOCIATES - ARCHITECTS, INC. MAINTAINS OWNERSHIP OF SUCH AND ALL RIGHTS AND PRIVILEGES. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE DUPLICATED, REPRODUCED OR USED IN ANY PART OR IN WHOLE FOR ANY OTHER PROJECT, FOR ANY OTHER LOCATION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SCALE	1/12" = 1'
DATE	8/25/2014
DRAWN BY	GDL

LOWE ASSOCIATES - Architects, Inc.
643 VFW Parkway, Suite 200
Chestnut Hill, Massachusetts 02167
Tel: (617) 323-0078 Fax: (617) 323-8670

THE RESIDENCES
OF SOUTH BROOKLINE
BROOKLINE, MASSACHUSETTS

APARTMENT BUILDING
ELEVATION STUDIES

